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The Dennis Farm Charitable Land Trust

THE DENNIS HOUSE RESTORATION

The Historic Dennis Farm

Kingsley, PA 18826

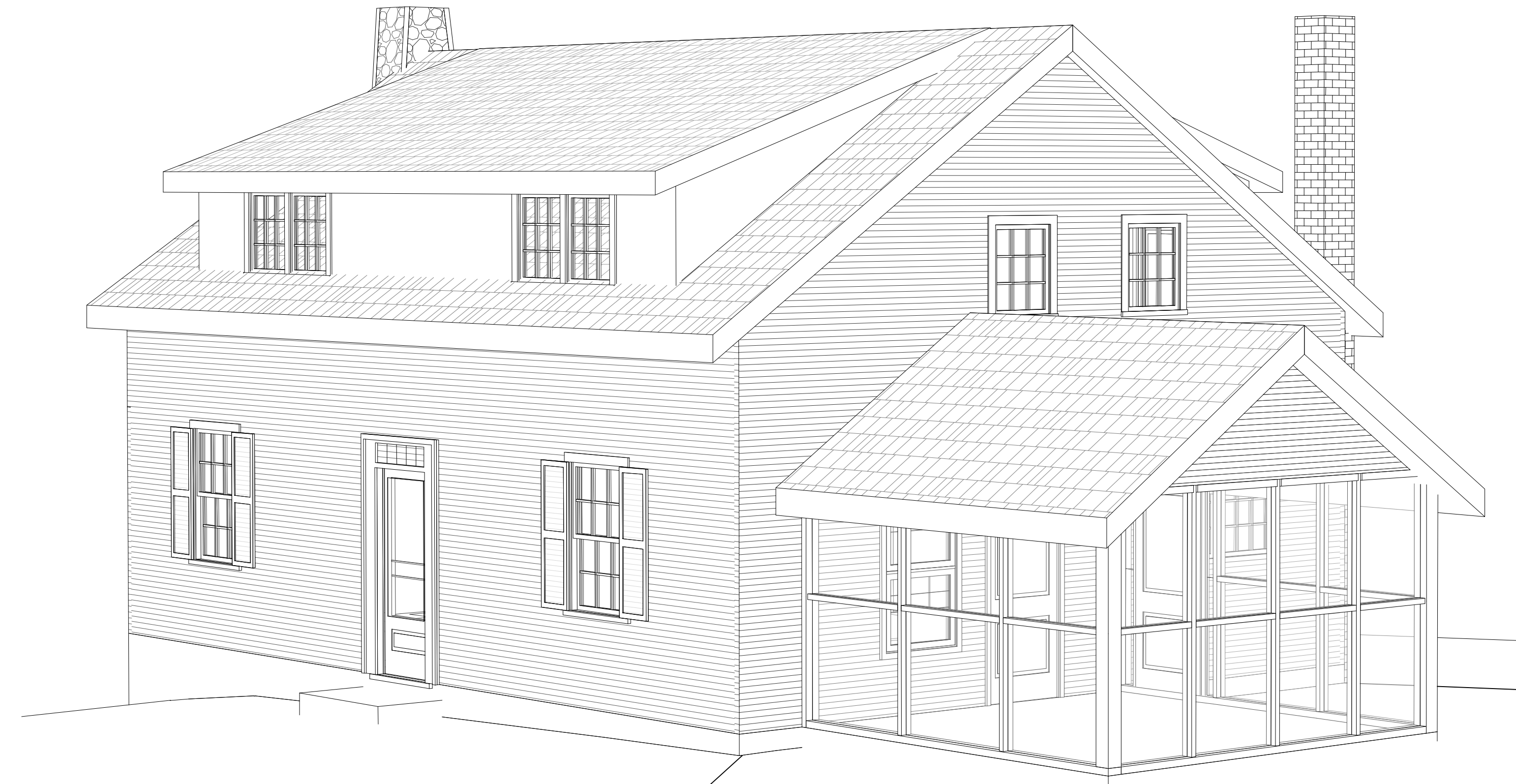
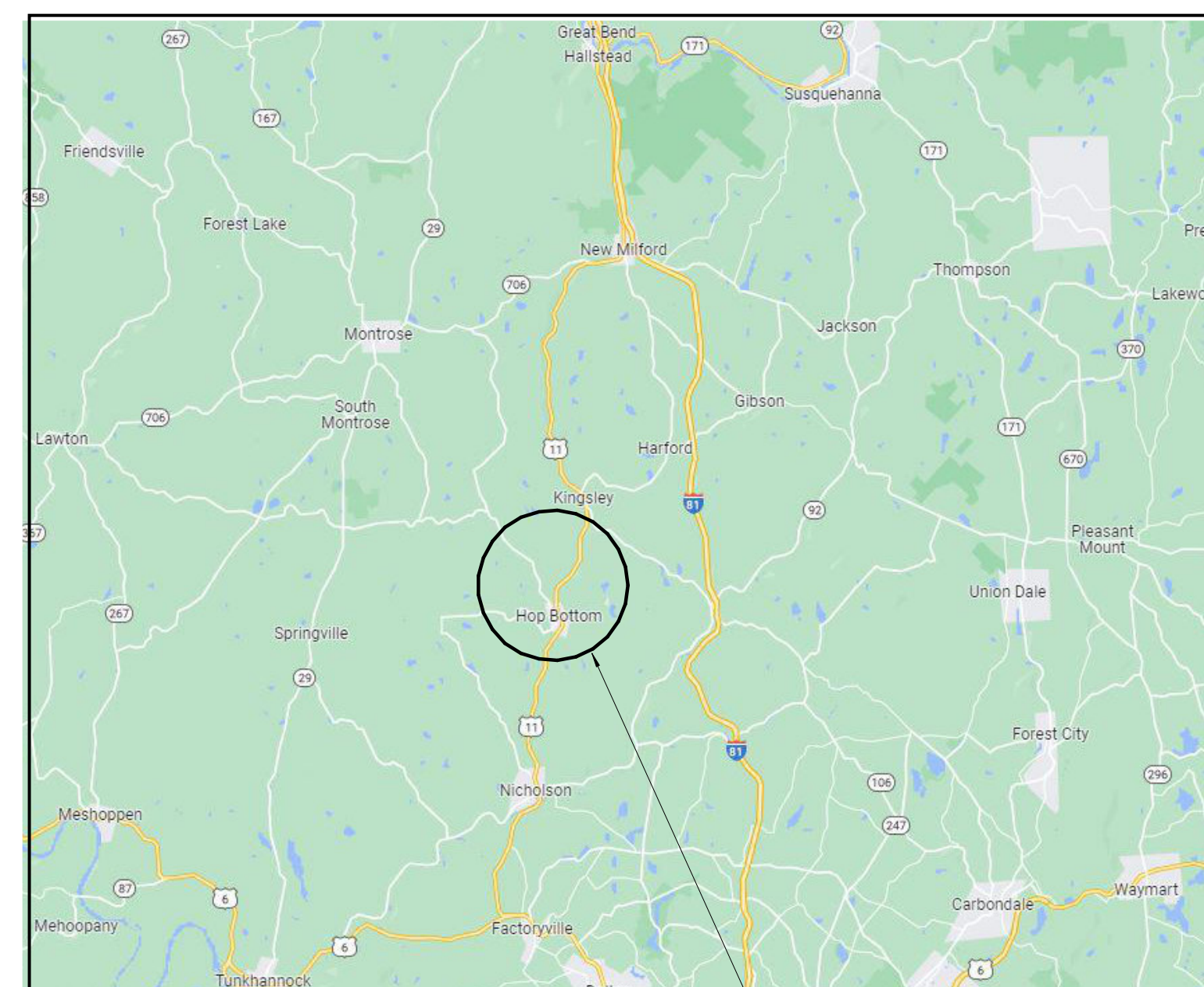
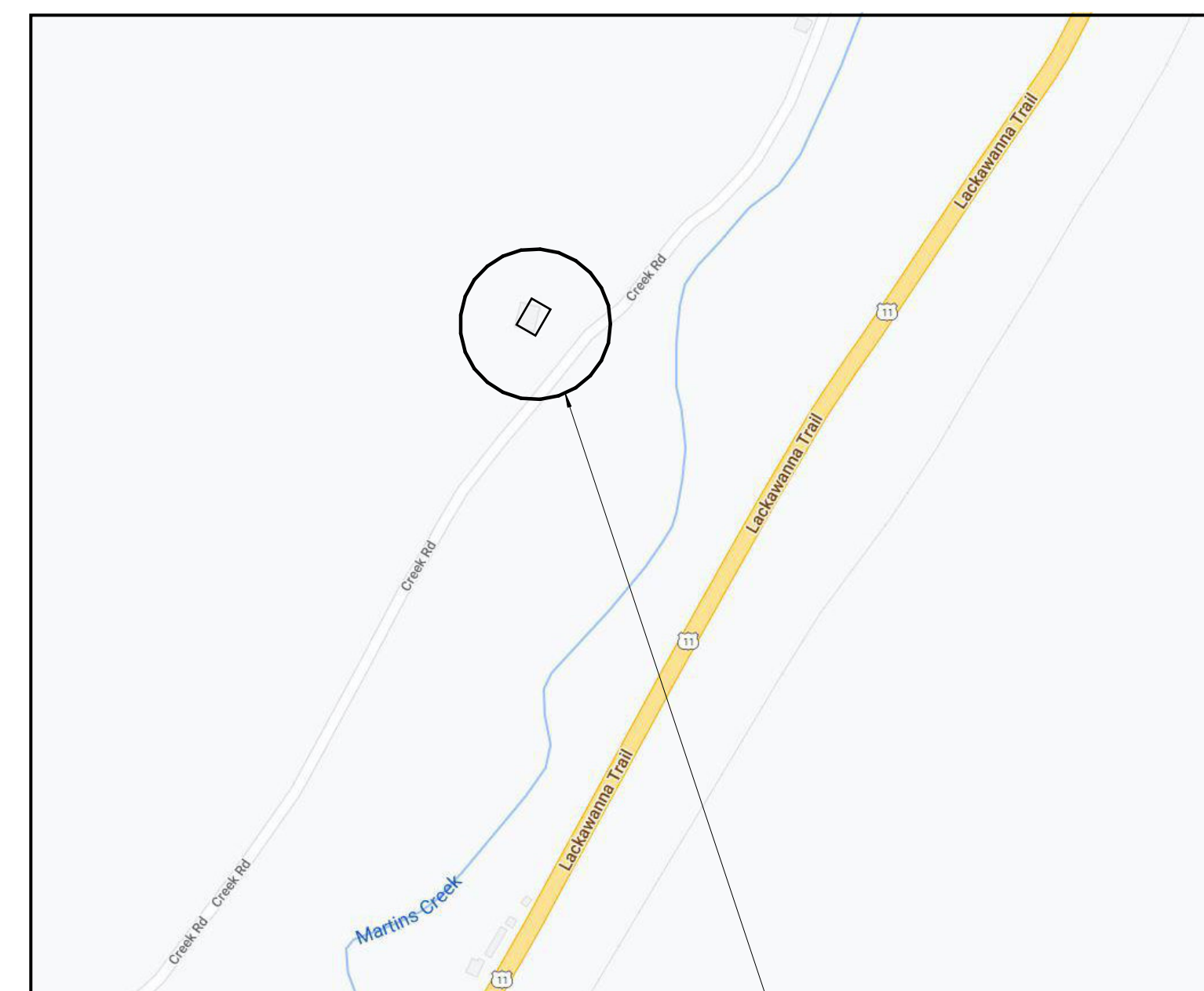


Illustration indicates design intent and may not reflect final details



PROJECT LOCATION



PROJECT LOCATION

LIST OF SHEETS

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Project:
THE DENNIS HOUSE RESTORATION
7799 Creek Road
South of Oakley Crossing
Kingsley, PA 18826

Owner:
The Dennis Farm Charitable Land Trust
P.O. Box 2583
Bala Cynwyd, PA 19004

Revision/Issue:
0 04/15/22 Issued for Review

Drawn AM
Reviewed: PY
Contact: Philip Yocum, AIA
Project Number: 8543.00-21

Sheet Title:
COVER SHEET

Sheet Number:
G-001

SYMBOLS

Interior Elevation Number, Sheet Number, Elevation or Section Number, Sheet Number, Detail Number, Sheet Number, Door Number, New Column, Existing Column, Window Type, Partition Type, Working Point Or Control Point, Room Name, Room Number, Ceiling Type, Ceiling Height, W: Wall Finish, B: Base, F: Floor Finish, Casework Finish, Revision Number, Accessory / Fixture Type, Plan North, Magnetic North, And, At, Number Or Pound, Diameter, Center Line, Dimension to Face of Material

MATERIALS

Concrete Masonry Unit, Brick, Concrete, Porous Fill, Stone Or Gravel, Earth, Insulation - Rigid, Glass In Elevation, Wood - Continuous Lumber, Wood - Blocking, Wood - Finish, Insulation - Batt, Blanket Or Loose, Plywood, Gypsum Board, Steel, Stone

ARCHITECTURAL STANDARD ABBREVIATIONS

Table of architectural abbreviations including ALT (Alternate), APC (Acoustic Panel Ceiling), APPROX (Approximate), ARCH (Architectural), BD (Board), BITUM (Bituminous), BLDG (Building), BLKG (Blocking), BM (Beam), BRG (Bearing), BSMT (Basement), BTWN (Between), BUR (Built-up Roofing), CAB (Cabinet), CB (Catch Basin), CCTV (Closed Circuit Television), CEM (Cement), CF/CI (Contractor Furnished/ Contractor Installed), CF/OI (Contractor Furnished/ Owner Installed), CI (Cast Iron), CIP (Cast-in-place), CJ (Control Joint), CLG (Ceiling), CL (Closet), CLR (Clear), CMU (Concrete Masonry Unit), CNTR (Center), COL (Column), CONC (Concrete), CONST (Construction), CONT (Continuous), CORR (Corridor), CPT (Carpet), CRS (Course(s)), CT (Ceramic Tile), DBL (Double), DEPT (Department), DET (Detail), DF (Drinking Fountain), DIA (Diameter), DIM (Dimension), DN (Down), DS (Downspout), DWG (Drawing), E (East), EA (Each), EIFS (Exterior Insulation and Finish System), EJ (Expansion Joint), EL (Elevation), ELEC (Electrical), ELEV (Elevator), EMER (Emergency), EOS (Edge of Slab), EPDM (Ethylene Propylene Diene Monomer), EPS (Expanded Polystyrene Insulation), EQ (Equal), EQUIP (Equipment), ETR (Existing to Remain), EWC (Electric Water Cooler), EXIST (Existing), EXP (Expansion), EXT (Exterior), FA (Fire Alarm), FD (Floor Drain), FDN (Foundation), FE (Fire Extinguisher), FEC (Fire Extinguisher Cabinet), FHC (Fire Hose Cabinet), FIN (Finish), FIXT (Fixture), FLR (Floor), FLUOR (Fluorescent), FOC (Face Of Concrete), FOF (Face Of Finish), FOM (Face Of Masonry), FOS (Face Of Studs), FPBI (Foam Plastic Board Insulation), FRJS (Fire Resistive Joint System), FRP (Fiberglass Reinforced Plastic), FRTW (Fire Retardant Treated Wood), FT (Foot/Feet), FTG (Footing), FURR (Furring), GA (Gauge), GALV (Galvanized), GFCI (Ground Fault Circuit Interrupter), GL (Glass), GR (Grade), GYP BD (Gypsum Board), HB (Hose Bibb), HC (Hollow Core), HDW (Hardware), HDWD (Hardwood), HM (Hollow Metal), HORIZ (Horizontal), HP (High Point), HPC (Handicapped), HR (Hour), HSKPG (Housekeeping), HSS (Hollow Structural Section (Tube Steel)), HT (Height), ID (Inside Diameter), IN (Inch(es)), INCL (Included), INS (Insulation), INT (Interior), JAN (Janitor), JST (Joist), JT (Joint), LAB (Laboratory), LAM (Laminate), LAU (Laundry), LAV (Lavatory), LNDSCP (Landscape), LP (Low Point), LTTR (Long Term Thermal Resistance), LVL (Laminated Veneer Lumber), MAX (Maximum), MDF (Medium Density Fiberboard), MECH (Mechanical), MEP (Mechanical, Electrical, Plumbing), MFR (Manufacturer), MIN (Minimum), MISC (Miscellaneous), MO (Masonry Opening), MT (Marble Threshold), MTD (Mounted), MTL (Metal), MUL (Mullion), N (North), NA (Not Applicable), NIC (Not In Contract), NO (Number), NOM (Nominal), NTS (Not To Scale), OC (On Center), OCC (Occupant(s)), OD (Outside Diameter), OF/CI (Owner Furnished/ Contractor Installed), OF/OI (Owner Furnished/ Owner Installed), OH (Overhead), OPG (Opening), OPP (Opposite), OSB (Oriented Strand Board), PCC (Precast Concrete), PCFS (Perimeter Fire Containment System), PL (Plate), PLAM (Plastic Laminate), PLBG (Plumbing), PLYWD (Plywood), PR (Pair), PSF (Pounds Per Square Foot), PSL (Parallel Strand Lumber), PSI (Pounds Per Square Inch), PT (Pressure Treated), PTD (Painted), PVMT (Pavement), R (Riser or Radius), RD (Roof Drain), REF (Reference), REFR (Refrigerator), REINF (Reinforced), REQD (Required), RES (Resilient), RM (Room), RO (Rough Opening), RWC (Rain Water Conductor), S (South), SC (Solid Core), SCHED (Schedule), SECT (Section), SF (Square Feet), SFRM (Spray Fire Resistive Materials), SIM (Similar), SPEC (Specification), SPM (Single Ply Membrane), SQ (Square), SS (Stainless Steel), STD (Standard), STL (Steel), STOR (Storage), STRUCT (Structure), SUSP (Suspended), T (Tread), T&G (Tongue & Groove), TEL (Telephone), THK (Thick), TO (Top Of), TOC (Top Of Concrete), TOF (Top Of Finish), TOM (Top Of Masonry), TOS (Top Of Steel), TPO (Thermoplastic Polyolefin), TYP (Typical), UNO (Unless Noted Otherwise), VCT (Vinyl Composition Tile), VERT (Vertical), VEST (Vestibule), VIF (Verify In Field), W (West), W/ (With), W/O (Without), WC (Water Closet), WD (Wood), WH (Water Heater), WIC (Walk-in-Closet), WP (Working Point), WRB (Water-Resistive Barrier), WSCT (Wainscot), WT (Weight), WWF (Welded Wire Fabric), XPS (Extruded Polystyrene Insulation)

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P.O. Box 2583
Bala Cynwyd, PA 19004

Architect: Consultant to Owner
BERNARDON
123 Justison Street, Suite 101
Wilmington, DE 19801
T 302-622-9550 F 302-622-9554
Contact: Philip Yocum, AIA
Email: pyocum@bernardon.com

MEP Engineer: Consultant to Architect
BRUCE E. BROOKS & ASSOCIATES
2209 Chestnut Street
Philadelphia, PA 19103
T: 215-569-0400 F: 215-569-2664

Structural Engineer: Consultant to Architect
KEAST & HOOD
1635 Markey Street
Suite 1705
Philadelphia, PA 19103
T: 215-625-0099

KEY INFORMATION

1. Applicable Code(s) & Regulations For This Project.

State: [PA ONLY PROJECTS - STATEWIDE, EXCEPT PHILADELPHIA]
2018 IRC (International Residential Code with Amendments)
2018 IECC (International Energy Conservation Code)
PA Uniform Construction Code (Regulations and Statutes) [Review Latest]
[(If in a flood zone) FEMA (Federal Emergency Management Agency) regulations and National Flood Insurance Program (NFIP) Technical Bulletins]
[(If project site is governed by an HOA) [Homeowners' Association Name] covenants and restrictions]

County:
Susquehanna County Building Code (Chapter 6 of NCC Municipal Code)
Susquehanna County Development of Land Use -- Historic Review Board
Secretary of the US Department of the Interior's Standards and Guidelines for Rehabilitating Historic Buildings

Federal:
2010 ADA (Standards for Accessible Design)

4. Occupancy Use Classification(s):

5. Construction Type(s) / Classification(s):

6. Project Description:

7. Date(s) of Original Construction:

8. Building Code Details: See Code Summary [on following G-Series Sheet(s).]

9. Zoning Code Details:

10. Climate Zone: #

11. Authority Having Jurisdiction: Susquehanna County

12. Fire Protection Systems:

13. Automatic Sprinkler System:

14. Level of Alteration: Section 607 Historic Buildings; 607.1 Scope Historic building provisions shall apply to buildings classified as historic as defined in Chapter 2. 607.2 Application Except as specifically provided for in Chapter 12, historic buildings shall comply with applicable provisions of this code for the type of work being performed.

15. Information:

STANDARD GENERAL NOTES

- 1. The Specifications are that portion of the Contract Documents consisting of the written requirements for materials, equipment, systems, standards and workmanship for the Work, and the performance of related services. Whether printed or in portable document format (PDF), the Specifications that have been prepared as a letter-size manual complement the Drawings bound herein, and what is required by one shall be as binding as if required by all.
2. All work shall be in accordance with applicable state and local building codes and all other governing agencies and regulations.
3. Contractor shall verify all conditions and dimensions in the field prior to commencement of the work. Verify layout in relation to property, benchmarks, and other fixed conditions. Report discrepancies to the Architect immediately upon discovery.
4. Notify Architect of discrepancies regarding the Contract Documents or design intent immediately upon discovery. Contractor shall be responsible for obtaining clarification prior to proceeding with the work or related work.
5. Contractor shall obtain all required building permits and licenses.
6. Contractor shall remove all rubbish and debris from the site during course of project, and dispose of legally off-site.
7. Contractor shall perform all cutting, patching and protection required to complete the work indicated on the Contract Documents.
8. Contractor shall provide all inspections and tests required by state and local authorities including but not limited to earthwork, concrete, steel erection, mechanical, plumbing, and electrical work. Refer to individual drawings and specifications for additional testing requirements.
9. Unless indicated otherwise in Specifications, products and manufacturers are noted to establish the type and quality of materials to be provided. Contractor may submit proposed substitutions to the Architect for review, with enough supporting data provided for the Architect to make an evaluation. Contractor shall include costs associated with proposed substitution, including redesign, and alteration of adjacent work to accept substitution.
10. All dimensions are either to face of masonry or the face of stud, unless noted otherwise. Drawings are not to be scaled.
11. Install all equipment and materials per manufacturer's instructions and recommendations unless specifically otherwise indicated, or where local codes and regulations take precedence.
12. Contractor shall provide supervision while any subcontractors or workers are on the job site and shall supervise and direct all work.
13. Contractor shall be solely responsible for all construction means, methods, techniques, sequences, procedures, site safety, erosion and sedimentation control, and coordinating the work of all trades under the contract.
14. No products containing asbestos or other hazardous materials shall be installed on this project or used during the construction of the project. It shall be the responsibility of the Contractor to certify to the Owner that this requirement has been met. Subcontractors shall verify to the Contractor that no asbestos or other hazardous products are used in their work.
15. Locations of rated fire/smoke separations and/or fire resistive structural protection are shown on documents. Provide complete assemblies to meet fire resistive requirements of the project including protection of structural elements and fire separation assemblies. Maintain the integrity of these assemblies at openings and penetrations including but not limited to fire or smoke dampers in ductwork, light fixture protection, electrical device box ratings, expansion joints, and sealants. Provide this protection by using complete building component systems approved by recognized authorities such as Underwriters Laboratories, Inc., Factory Mutual, or other building code accepted agencies. It is the responsibility of the Contractor to coordinate subcontractors and suppliers to accomplish this work during bidding, procurement, scheduling, sequencing and construction of the project.

BERNARDON

ARCHITECTURE
ARCHITECTURE
INTERIOR DESIGN
LANDSCAPE ARCHITECTURE

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Project:

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Owner:

The Dennis Farm
Charitable Land Trust
P.O. Box 2583
Bala Cynwyd, PA 19004

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Drawn AM

Reviewed: PY

Contact: Philip Yocum, AIA

Project Number: 8543.00-21

Sheet Title:

ABBREVIATIONS /
SYMBOLS /
GENERAL NOTES

Sheet Number:

G-002

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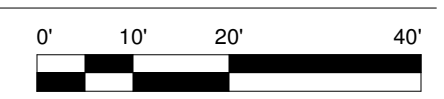
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Sheet Title:
SITE PLAN

Sheet Number:
C-001



1 ARCHITECTURAL SITE PLAN
SCALE 1" = 20'-0"



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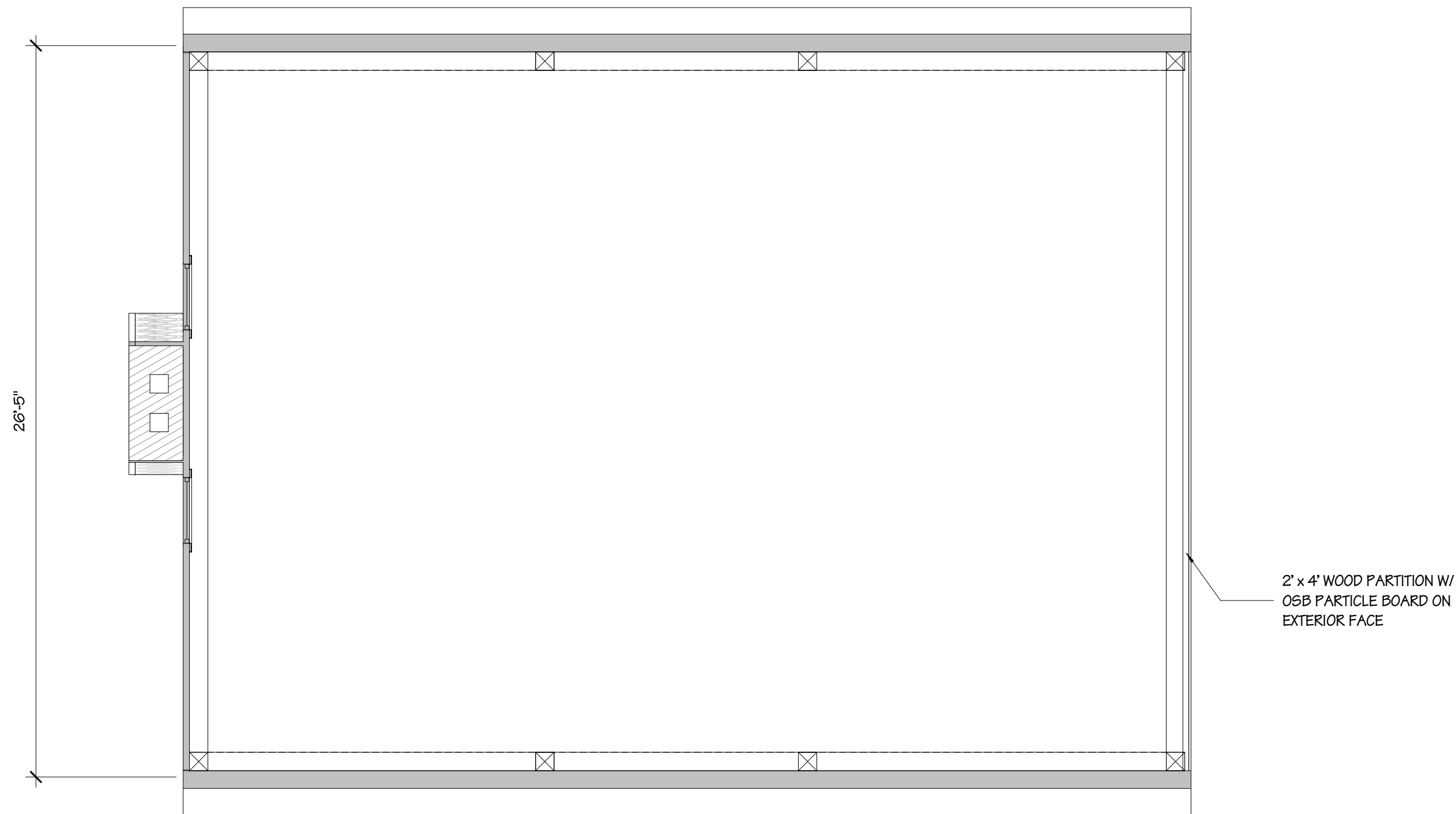
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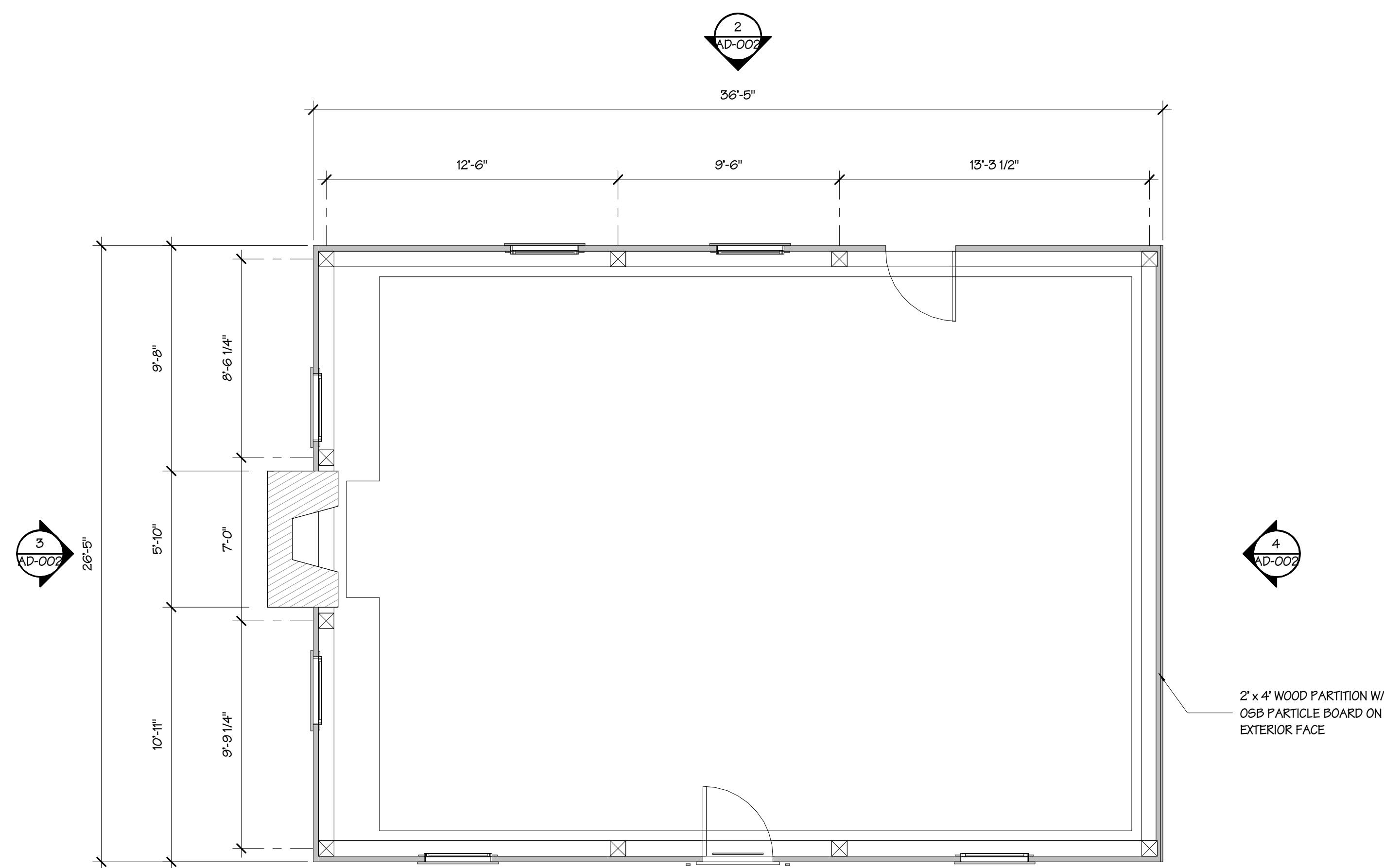
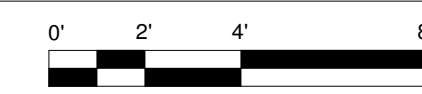
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Sheet Number:

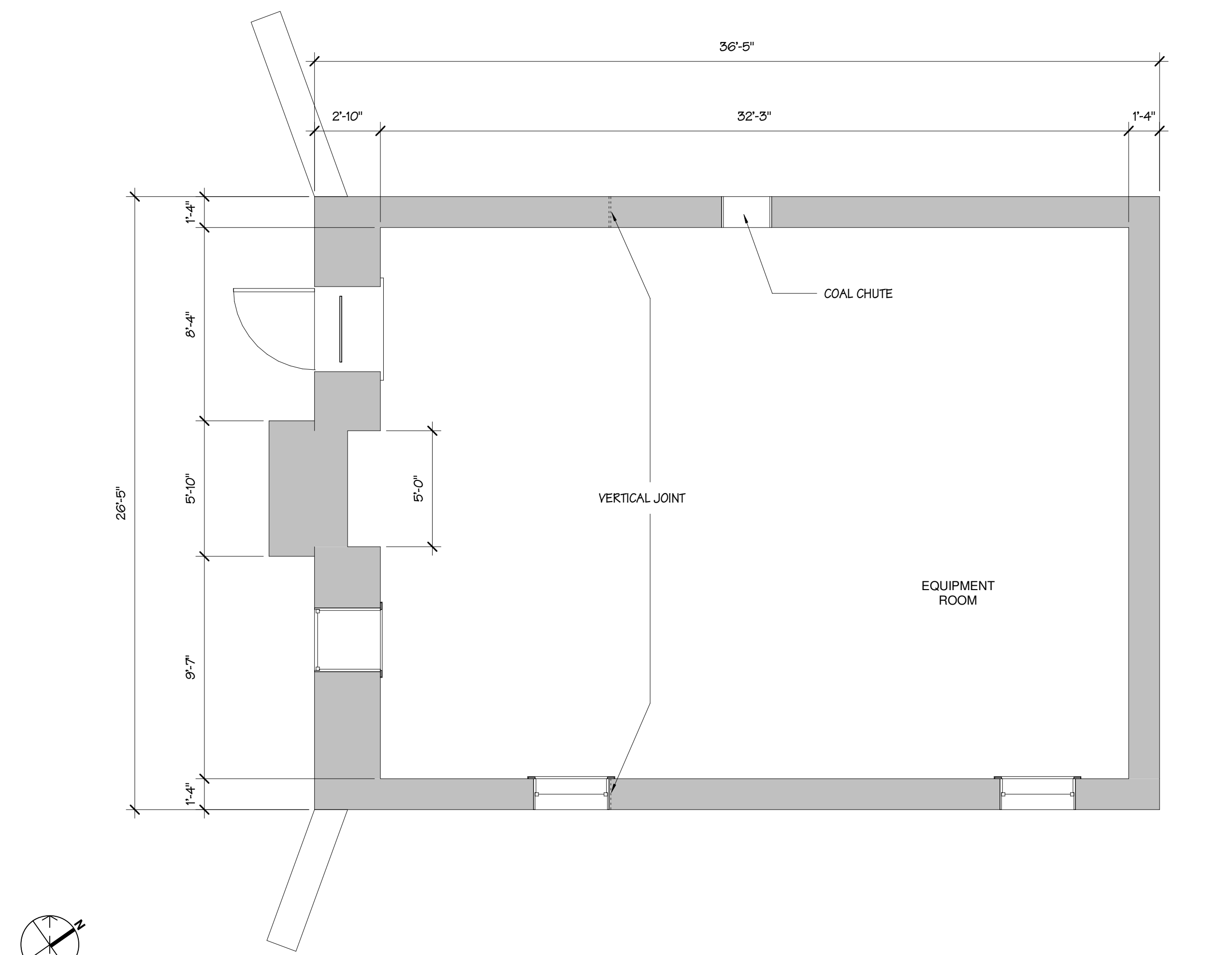
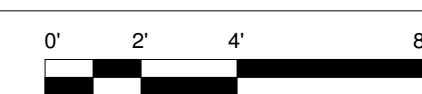
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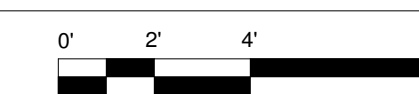
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SCALE 1/4" = 1'-0"



2 01 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



1 00 LOWER LEVEL PLAN
SCALE 1/4" = 1'-0"



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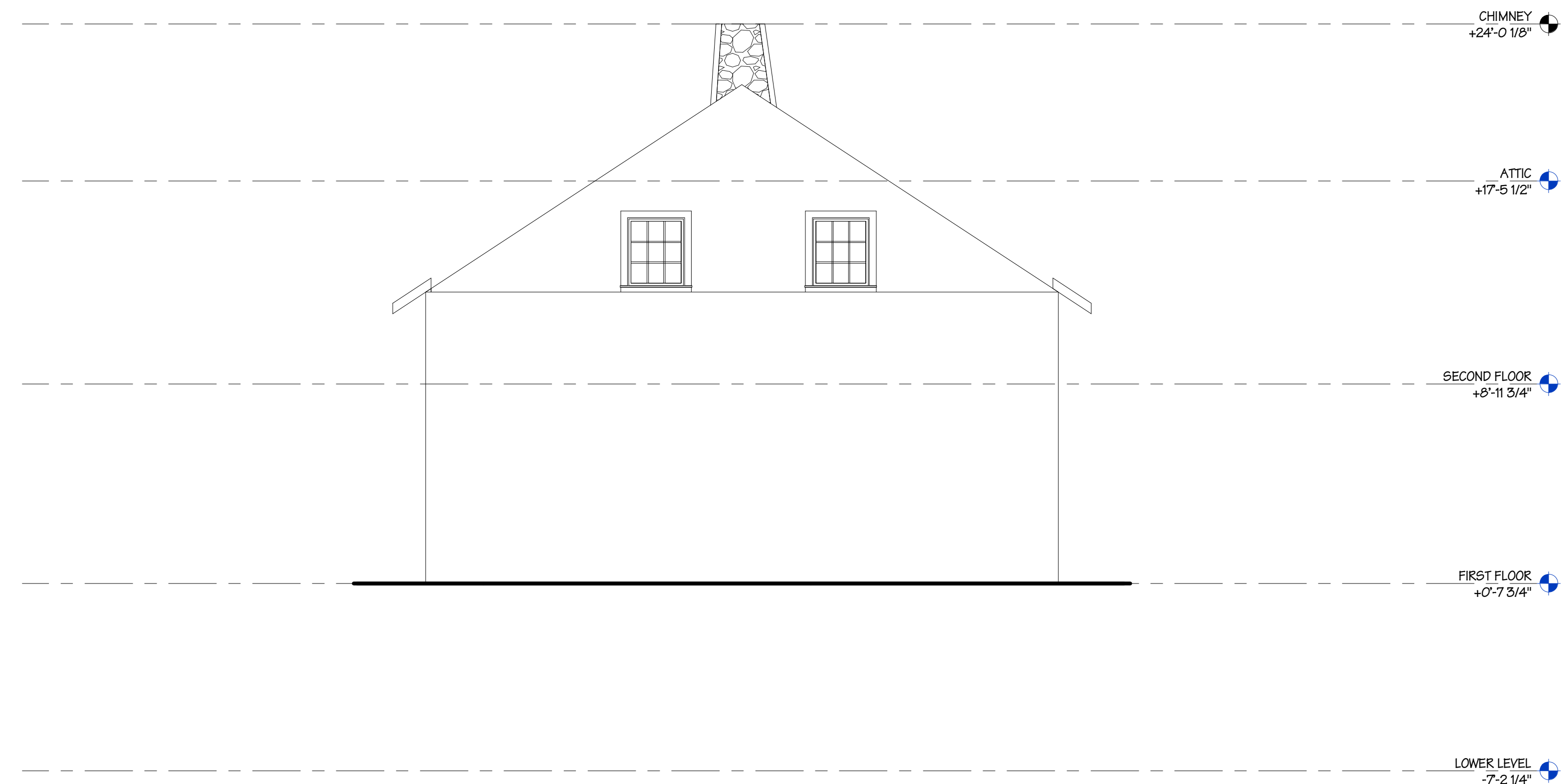
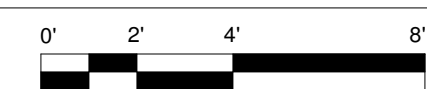
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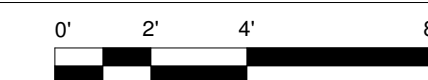
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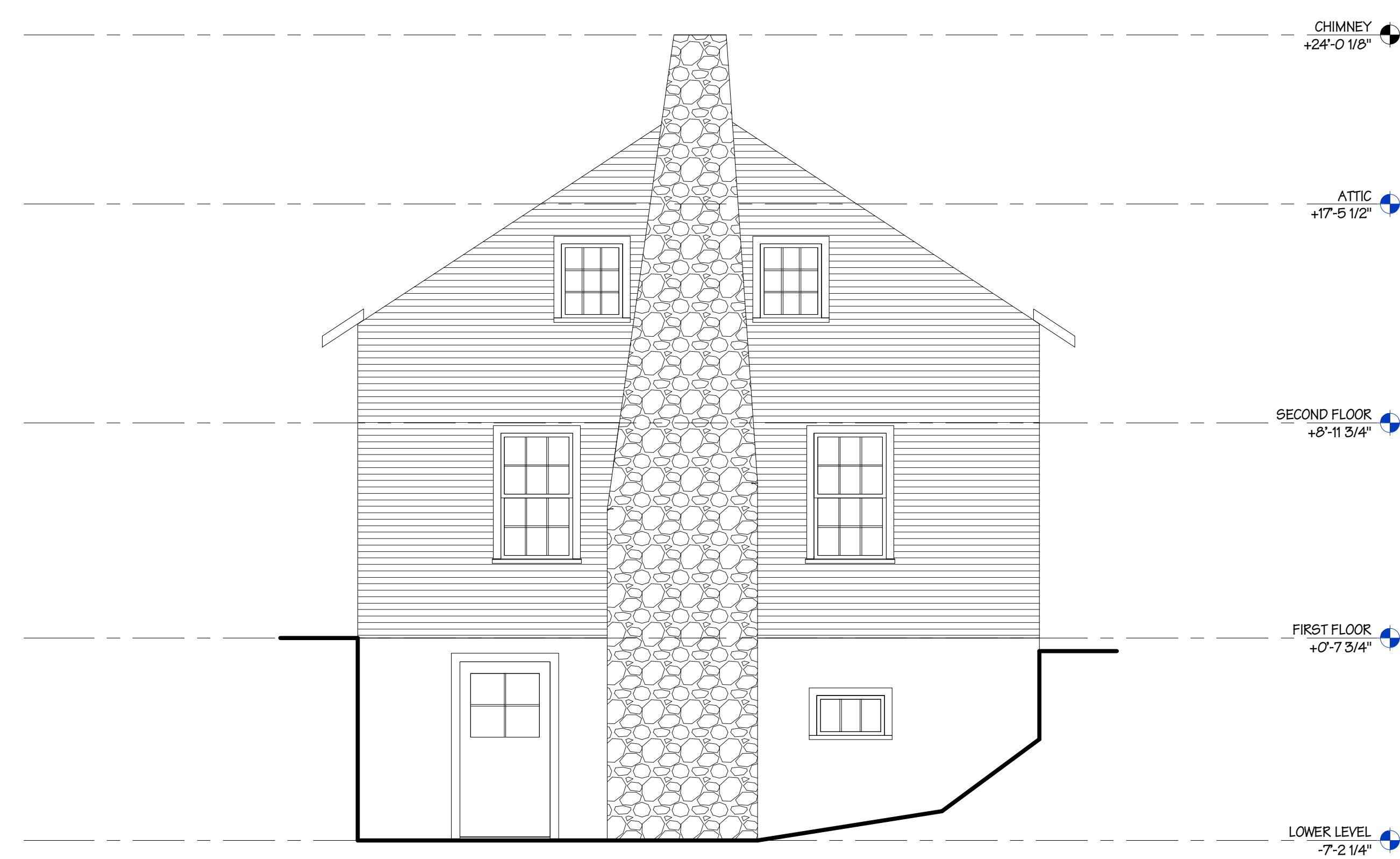
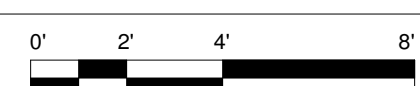
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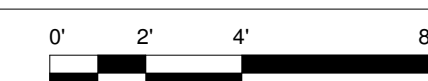
4 NORTH ELEVATION
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2 WEST ELEVATION
SCALE 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



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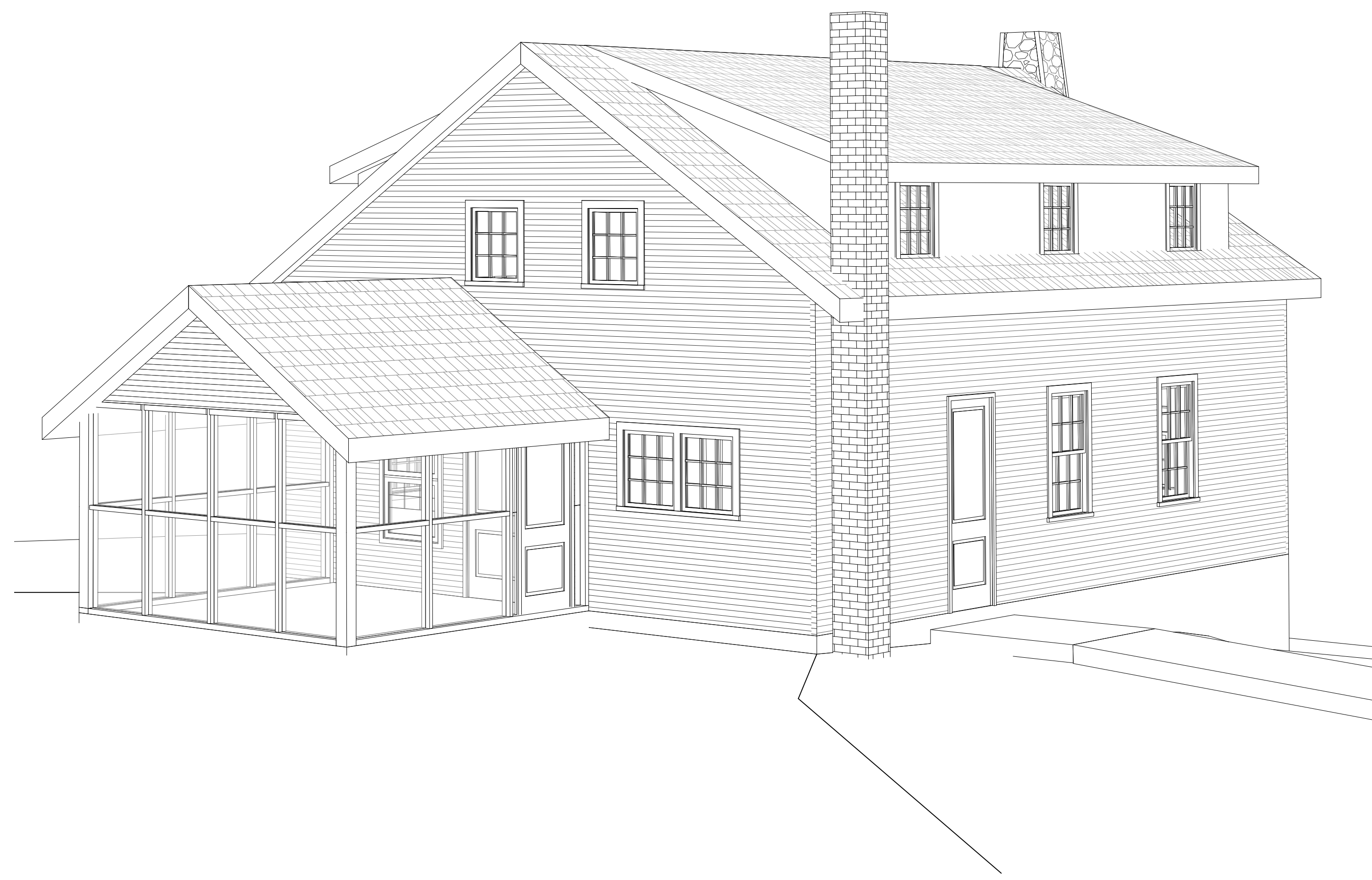
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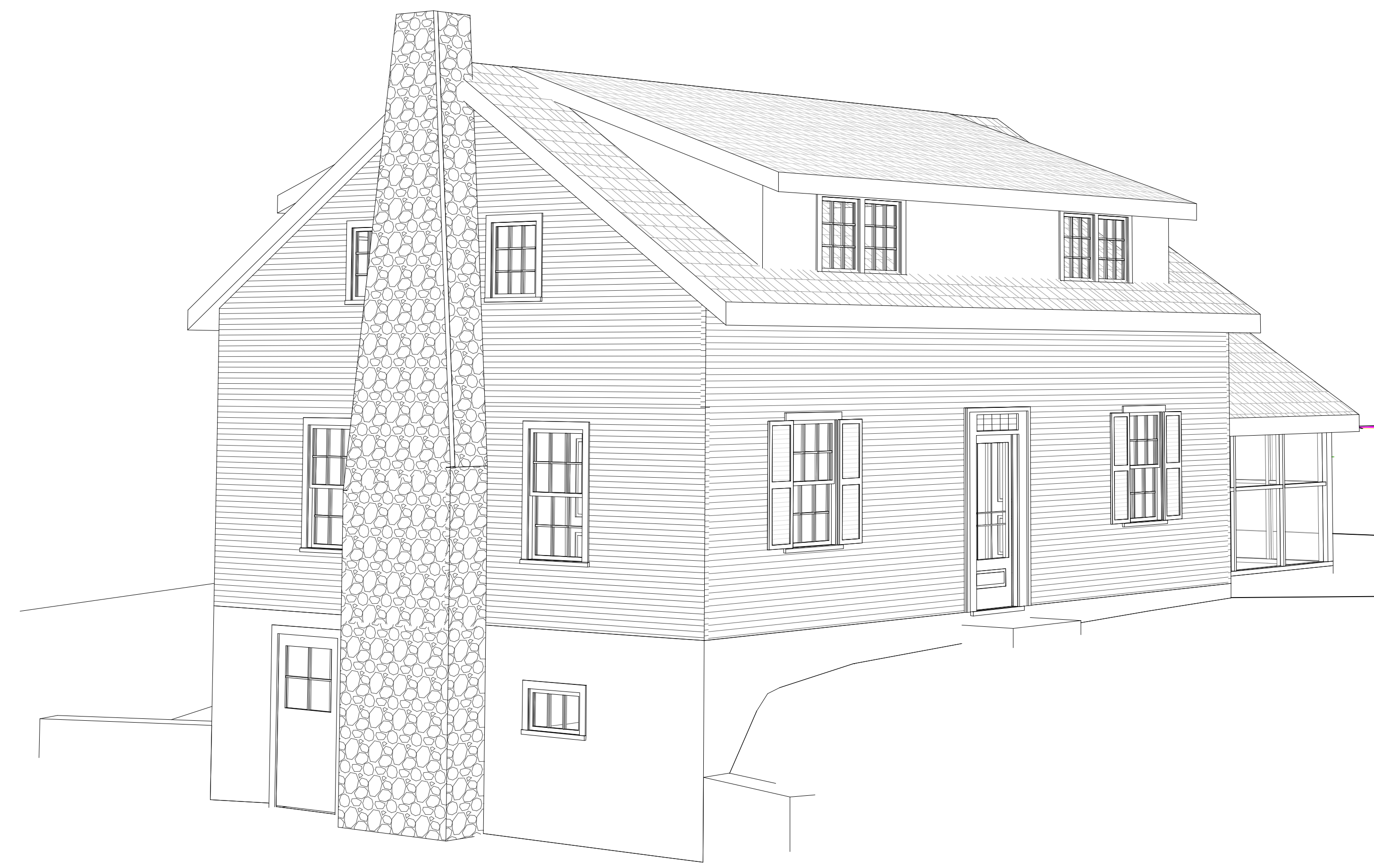
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3D VIEWS

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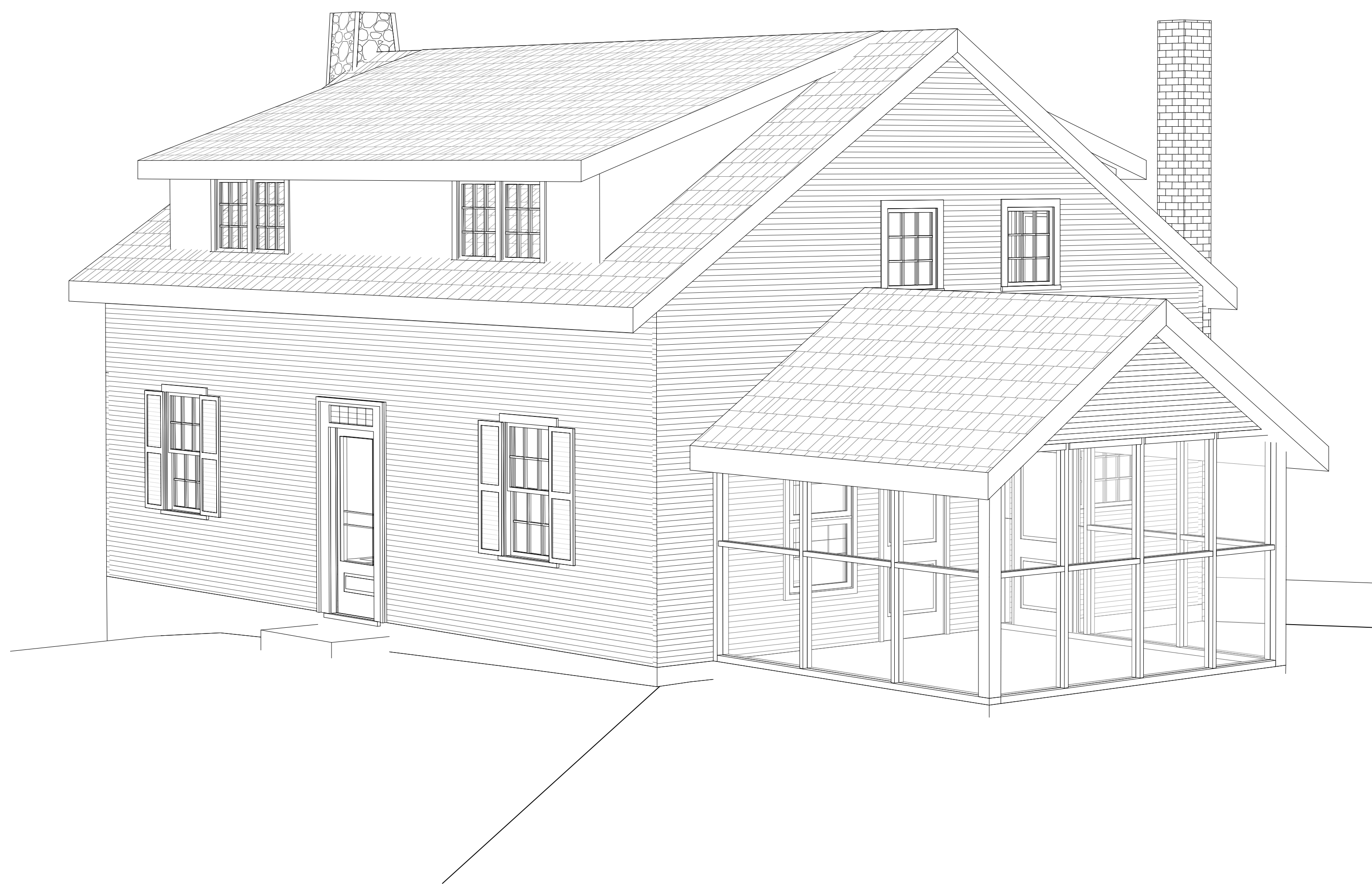
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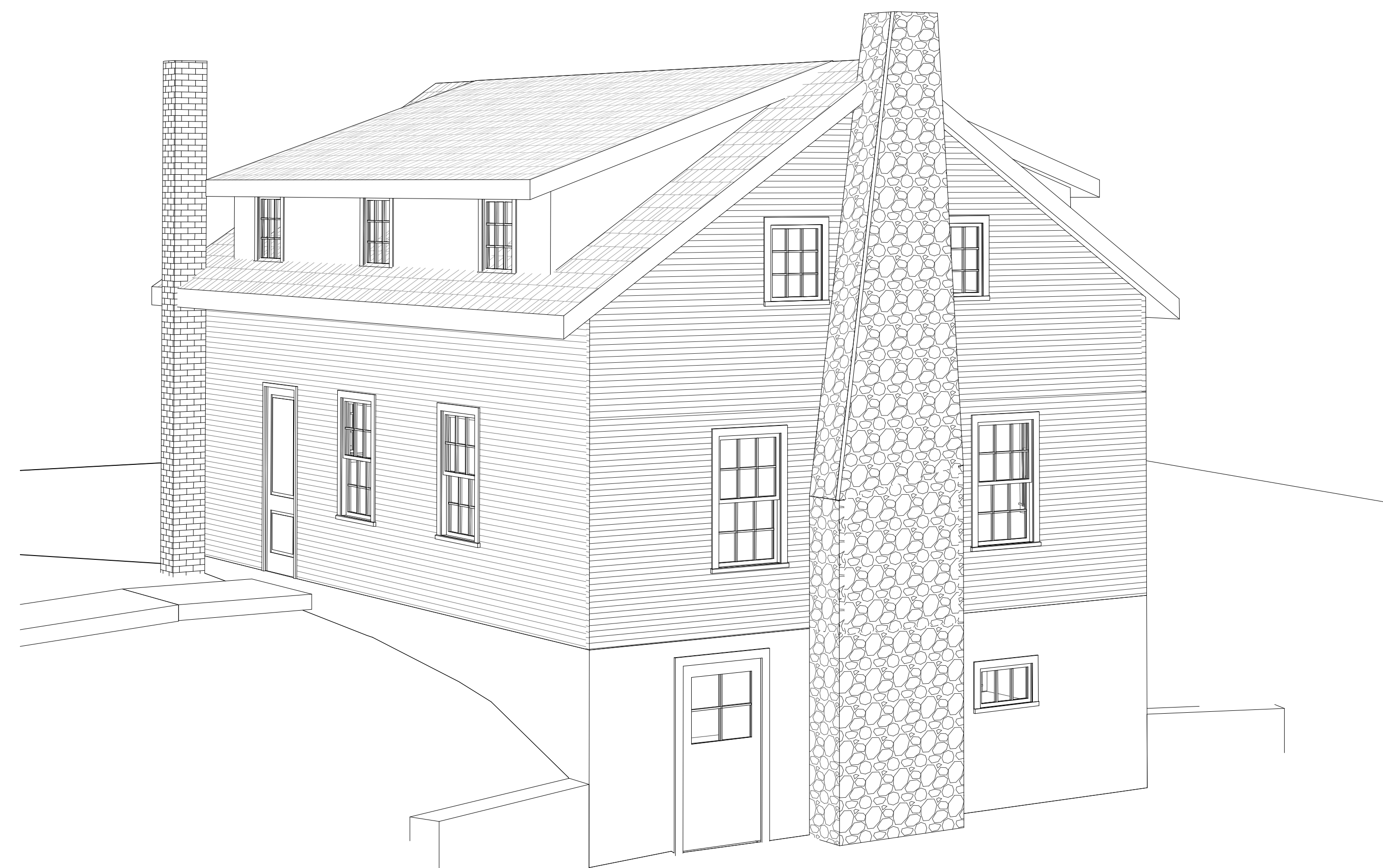
2 3D VIEW - NORTHWEST
SCALE



4 3D VIEW - SOUTHEAST
SCALE



1 3D VIEW - NORTHEAST
SCALE



3 3D VIEW - SOUTHWEST
SCALE

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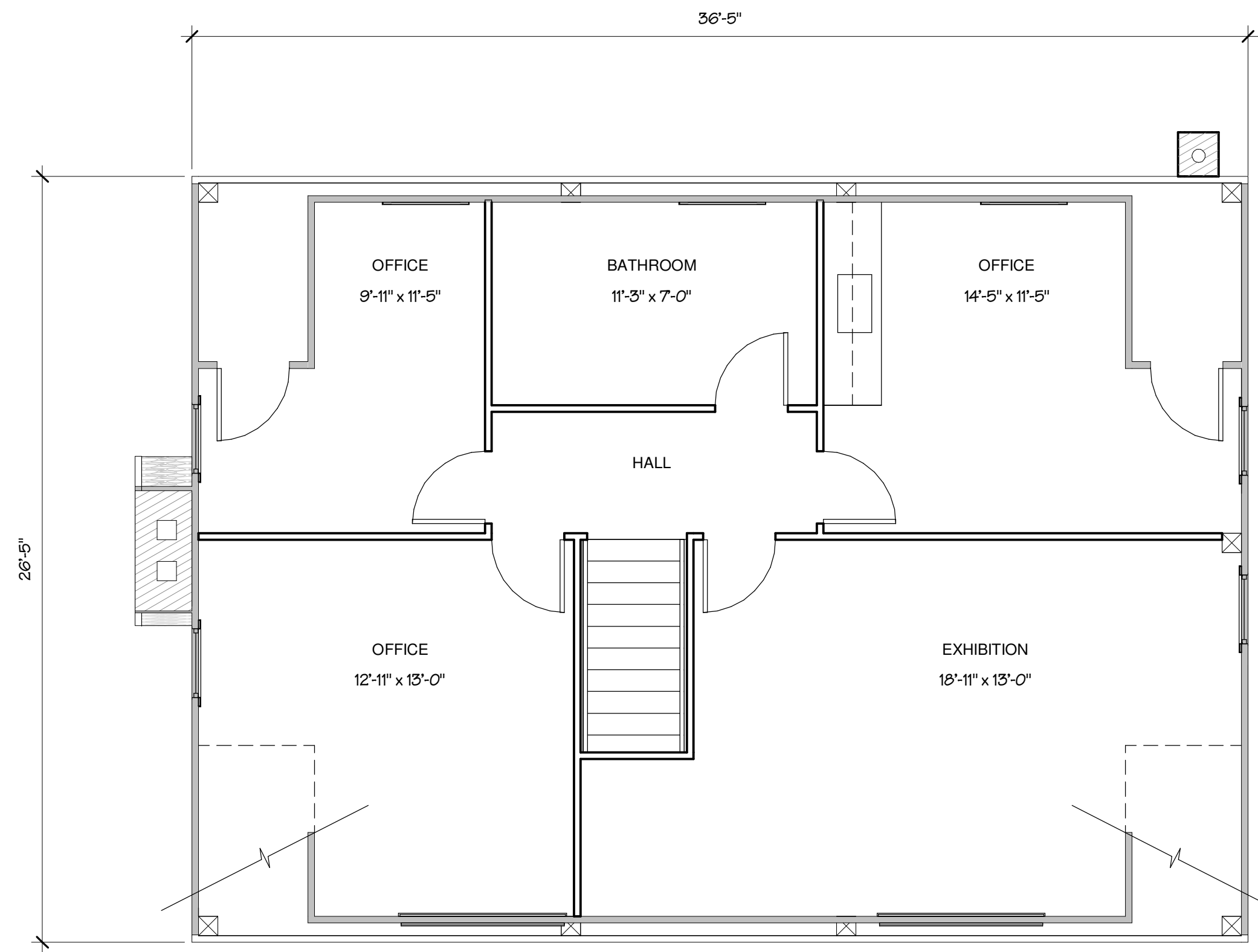
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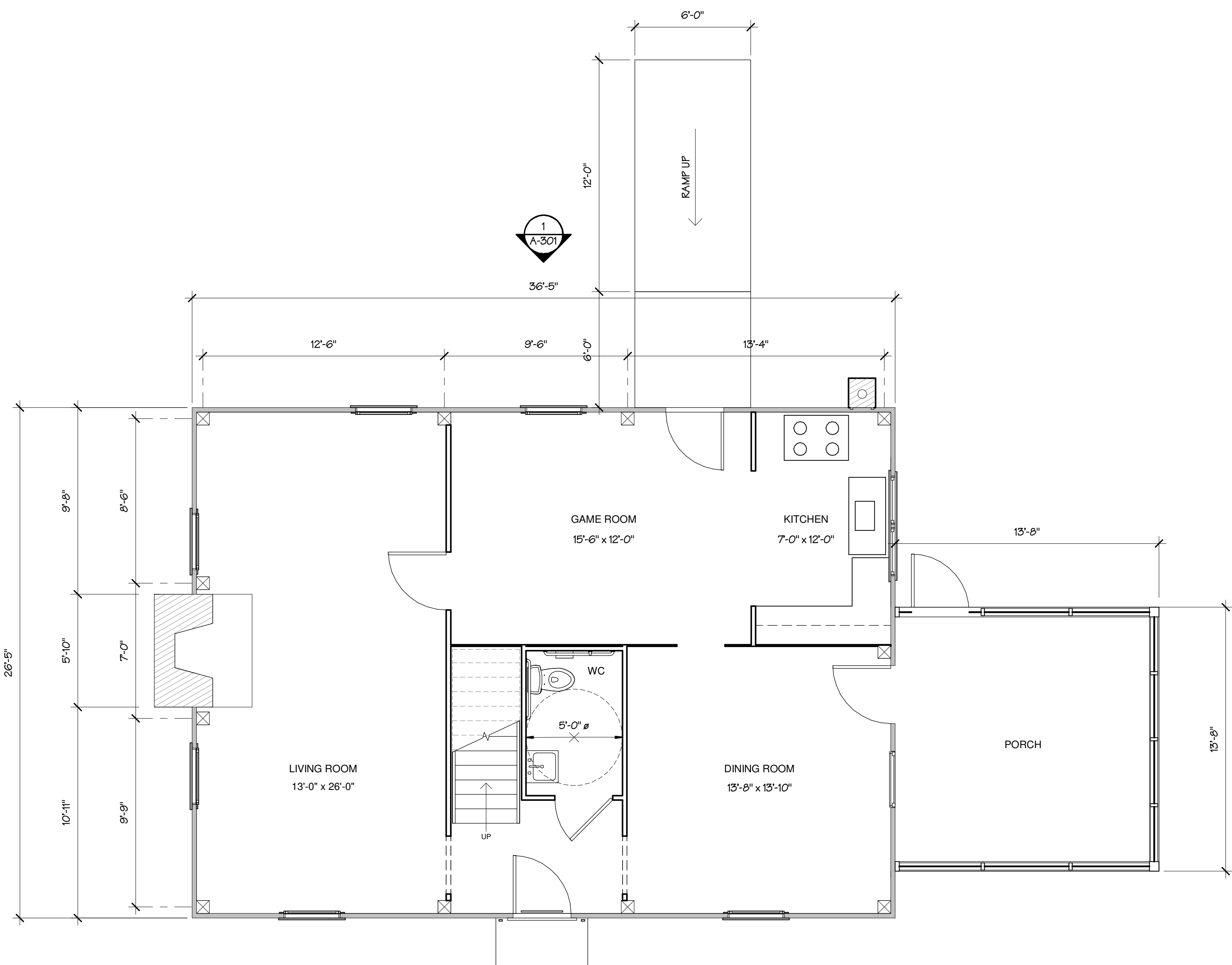
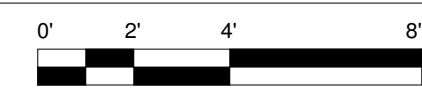
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FLOOR PLANS

Sheet Number:

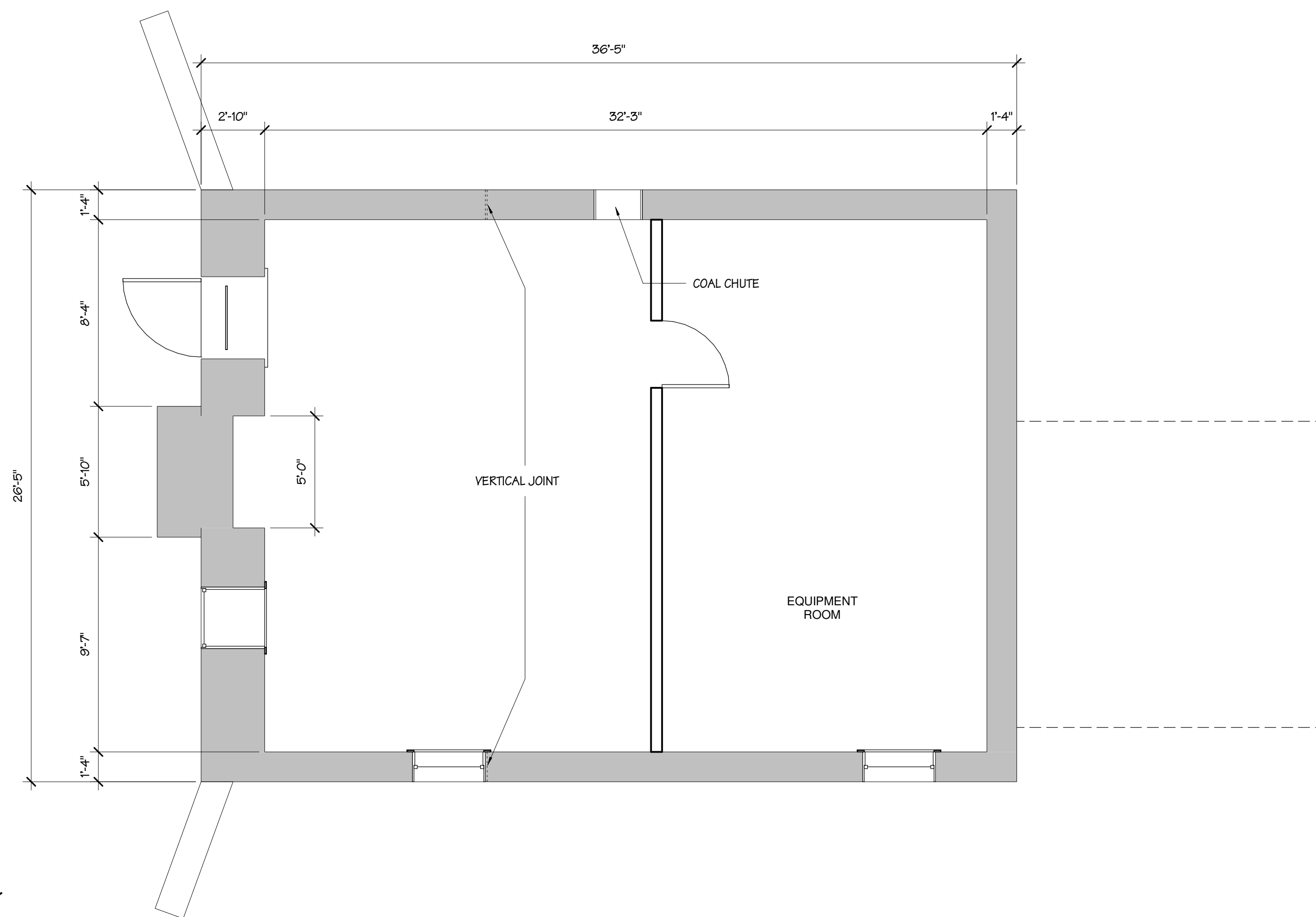
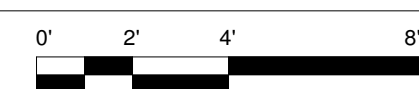
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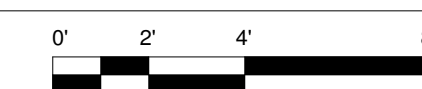
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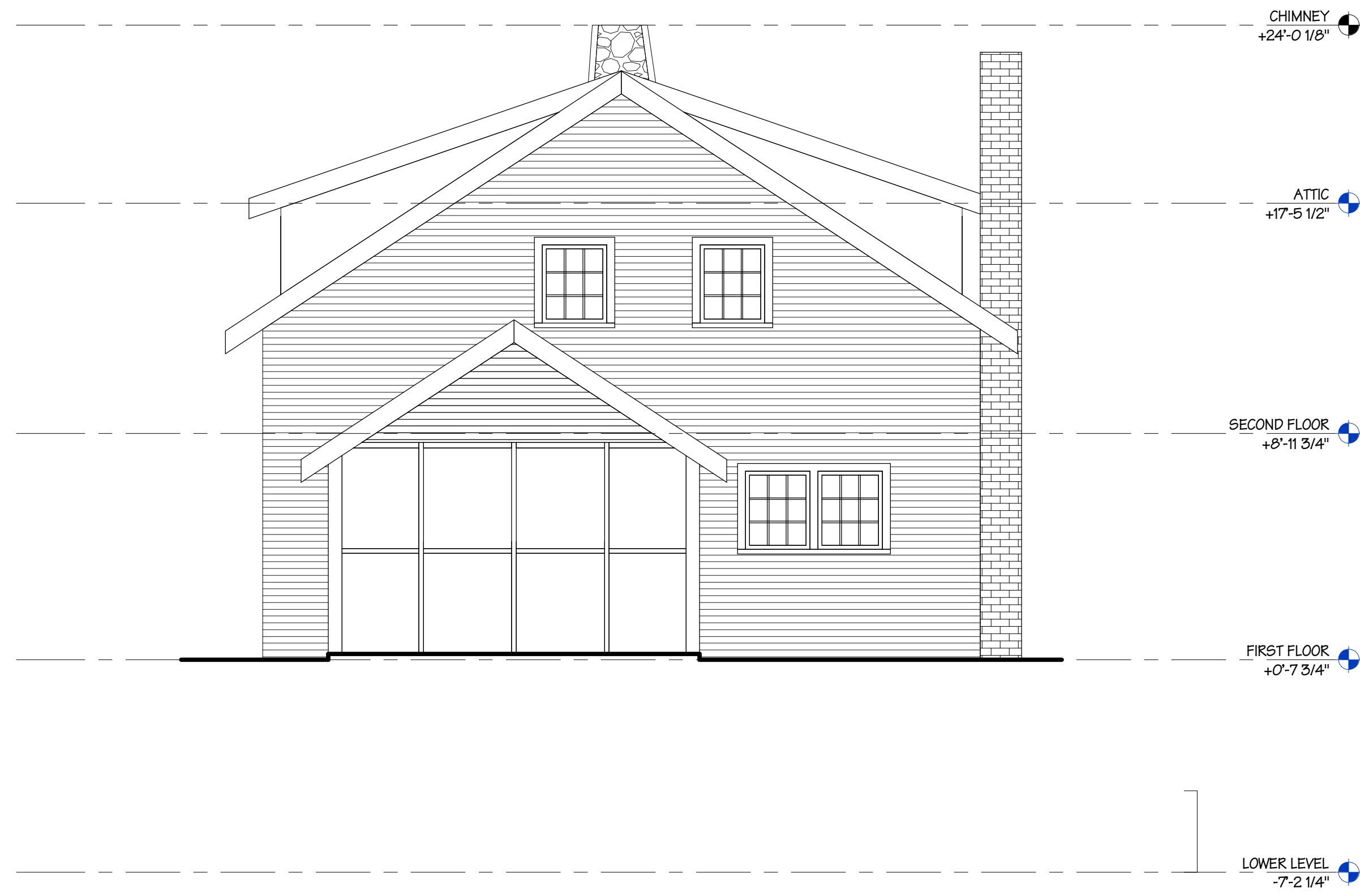
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Sheet Title:
ELEVATIONS

Sheet Number:
A-301



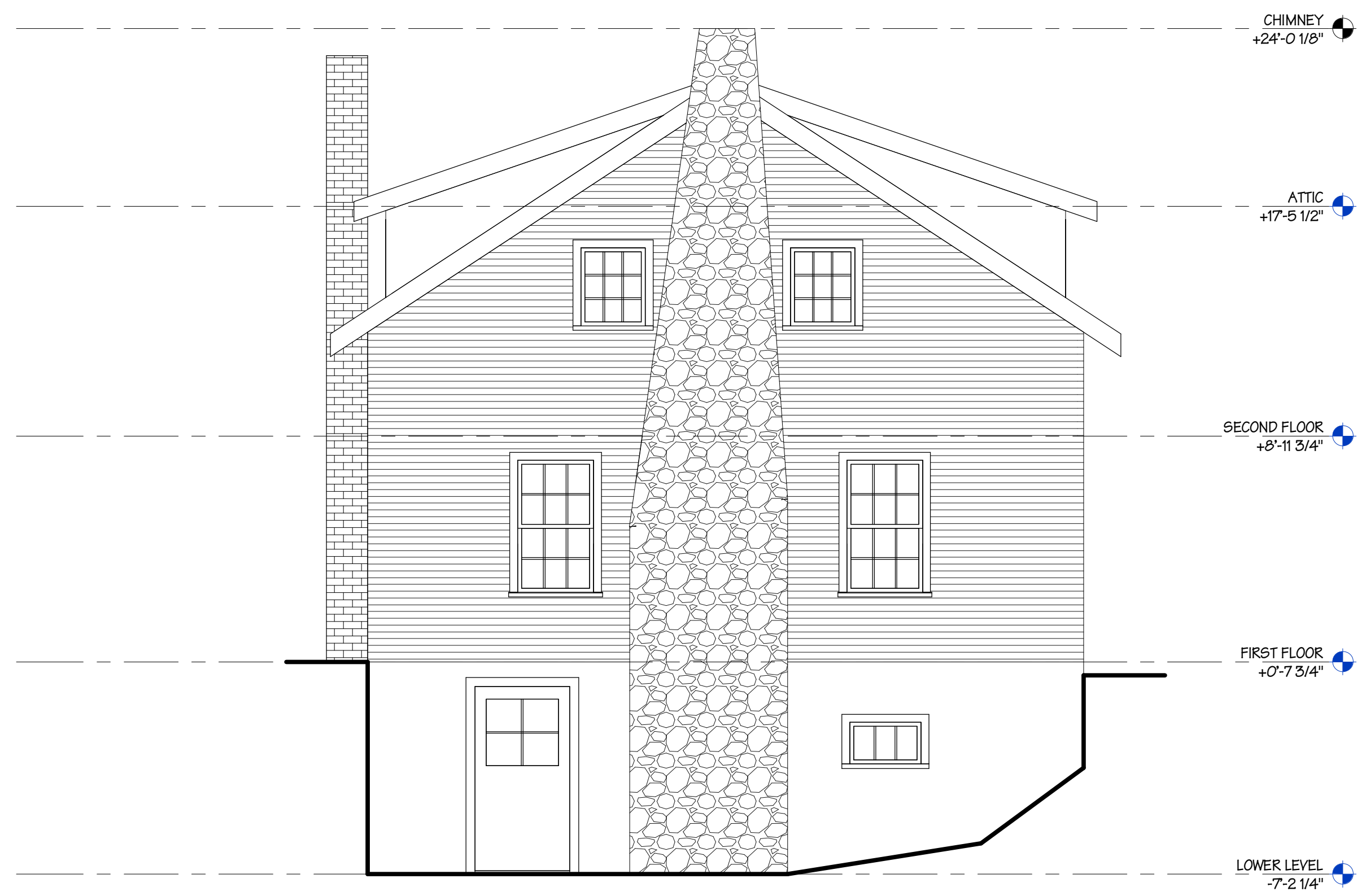
2 EAST ELEVATION
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4 NORTH ELEVATION
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1 WEST ELEVATION
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3 SOUTH ELEVATION
SCALE 1/4" = 1'-0"